



Precision Property Inspections

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Precision Residential

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123 Sample Drive, Anytown, USA 54321

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To review our Standards of Practice, visit:

<https://www.homeinspector.org/Resources/Standard-of-Practice/>

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- DEFICIENCY 2.2 Attic- Attic: Insulation / Ventilation: Microbial Growth Noted In Attic
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1: Inspection Details

Information

General : In Attendance

Client, Owner

General : Occupancy

Furnished, Occupied

General : Style Of Home

Ranch, With Crawlspace

General : Utilities

Water, Gas, Electric, On

General : Weather

Clear, Temperature approximately 80 degrees F

Limitations

LIMITATION 1.1

General

Occupied / Furnished Disclaimer



Due to the home being furnished at the time of inspection, not all floor and wall surfaces, countertops, windows, and electrical receptacles could be inspected or tested.

To view more Inspection Details photos, [CLICK HERE](#)

2: Attic

Information

General : Attic Access

Accessible via Pull Down Stairs, Accessible via Access Door / Hatch, Located: Garage, Located: Upstairs Bedroom

General : Attic Insulation

Fiberglass, Estimated R Value: R25-R30 in Main Attic

General : Attic Ventilation

Ridge Vent(s)

General : Attic Flooring

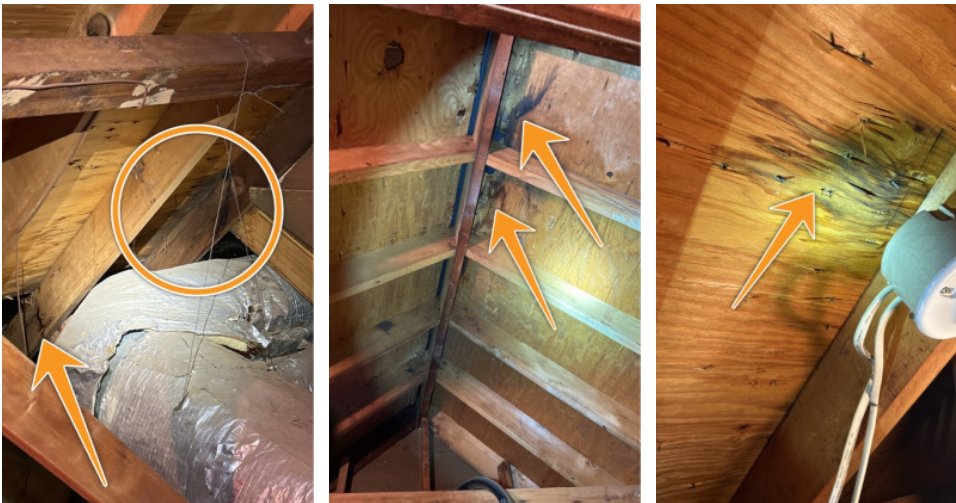
Limited Flooring

Deficiencies

DEFICIENCY 2.1

Attic: Roof Structure

Water Stains Noted - Dry At Inspection



Monitor: Water staining noted. The area was dry at the time of inspection. Consult the owner for further information regarding past leakage, repairs, and warranty information. Consult a qualified roofer for additional evaluation and repairs as needed.

Deficiencies

DEFICIENCY 2.2

Attic: Insulation / Ventilation

Microbial Growth Noted In Attic



Repair: Microbial growth was noted on attic components, likely due to a combination of high humidity and lack of ventilation. Attempt to clean and increase ventilation. Consult a mold remediation specialist for evaluation and mitigation if needed.

Deficiencies

DEFICIENCY 2.3

Attic: Stairways / Access

Adjust Pull-Down Stairs



Repair, Safety Issue: The pull-down stairs to the attic need to be adjusted so that the stair is in a straight line when fully extended (see manufacturer's recommendations printed on label). This will relieve unnecessary pressure on the connections at the folding sections. The stairs should be cut back at the floor to provide proper support.

3: Garage

Information

General : Garage Type

Attached

General : Number Of Bays

Two Car

General : Overhead Garage Doors

Wood, Automatic Opener (electric eye reversing mechanism)

Limitations

LIMITATION 3.1

Exterior: Garage

View Obstructed



Monitor: Stored items and/or vehicle(s) prevent full inspection of the floor and walls.
Thoroughly inspect the area after items are removed.

Deficiencies

DEFICIENCY 3.2

Exterior: Garage

Repair Weatherstripping



Repair: The garage door weatherstripping as noted is damaged and should be repaired to limit moisture and rodent intrusion into the garage.

DEFICIENCY 3.3

Exterior: Garage

Impact Reverse Adjustment Needed

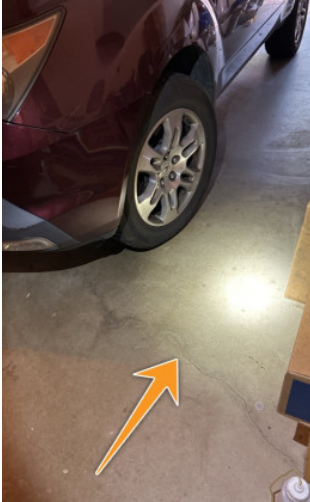


Repair, Safety Issue: The garage door opener did not automatically reverse using standard testing procedures as required by the National Safety Council (door must reverse upon hitting a 2x4 block of wood laid flat on the floor below the door). There is a risk of injury, particularly to children and pets, and damage to vehicles under this condition. The opener and door should be serviced and adjusted as needed by a qualified garage door service company.

DEFICIENCY 3.4

Exterior: Garage

Routine Settlement Cracking (Garage)



Repair, Monitor: Cracks such as these fall within the range of normal settlement. Repair cosmetically and monitor for subsequent movement. Should further movement occur, consult a foundation contractor.

4: Structural Components

Information

General : Foundation

Crawlspace Configuration, Slab on Grade (Garage Only), Concrete Block Walls

General : Columns/Piers

Steel Columns, Concrete Block Piers

General : Floor Structure

Wood Joists - 2x10, Plywood Floor Decking

General : Wall Structure

Wood Frame, Stud Size: 2x4, Above Components Assumed (not totally visible)

General : Ceiling Structure

Wood Joist - 2x8, Wood Joist - 2x10, Not Totally Visible

General : Roof Structure

Wood Rafters - 2x6, Plywood Sheathing

General : Crawlspace Access

Accessible via Exterior Access Door / Hatch

Deficiencies

DEFICIENCY 4.1

Structural: Crawlspace

Water Staining At Foundation



Repair, Monitor: Evidence of previous or active moisture penetration was observed in the

crawlspace, especially as noted. Wet basements and crawlspaces risk building damage from rot and insects and can cause interior microbial growth or mildew (a microbial growth assessment is not included in this inspection). Roof and lot drainage repairs or improvements should be addressed as a first step to controlling water intrusion into the crawlspace (see Exterior and/or Roofing Sections). This condition should then be monitored.

Deficiencies

DEFICIENCY 4.2

Structural: Foundation

Efflorescence Noted At Foundation



Water pressure from the far side of the foundation is penetrating the wall and leaching salts from the masonry and mortar. The salts themselves are harmless but indicative of persistent moisture. Consult with a licensed water-proofing contractor for remediation as needed.

Deficiencies

DEFICIENCY 4.3

Structural: Floor Structure

Floor Joist Overly Notched / Cracked



Repair: A floor joist was cracked / overly notched as noted. This weakens the joist and can cause floor settlement in the future.

DEFICIENCY 4.4

Structural: Floor Structure

Water Damage / Rot Noted - Repair



Repair: The floor structure as noted shows evidence of advanced water damage and rotting. Rot weakens the structure and can cause building settlement. Damaged wood should be repaired or replaced and the conditions that have promoted the rot should be corrected. Consult a qualified framing contractor for further evaluation and options for repair, as well as prevention of future damage.

5: Roofing System

Information

General : Roof Type

Composition Shingle Architectural Style

General : Roof Flashings

Metal, Drip Edge Flashing

General : Chimneys

Metal Flue / Stucco Veneer, Rain Pan and Vermin Screen

General : Gutters And Downspouts

Aluminum

General : Skylights

Plastic Bubble Type

Limitations

LIMITATION 5.1

General

Roof Height / Slope Notice



Due to the steep slope and/or height of the roof structure, the roof could not be safely walked and was viewed from the ground only using binoculars or from a ladder at the eaves. Some sections of the roof could not be viewed.

Deficiencies

DEFICIENCY 5.2

Roofing: Shingles / Membrane

Displaced Shingles Noted



Repair: Some shingles were observed lifting, displaced, or otherwise damaged. Damaged and displaced shingles can contribute to roof leakage. Have a qualified roofer provide further evaluation and replace all missing or defective components, ensuring proper operation of the roofing systems.

Deficiencies

DEFICIENCY 5.3

Roofing: Flashings

Skylight - Monitor



Monitor: The flashing components at the skylights should be carefully monitored, as these

areas are extremely vulnerable to leakage.

Deficiencies

DEFICIENCY 5.4

Roofing: Gutters / Downspouts

Underground Piping Disconnect From Downspout



Repair: Downspout connections to underground piping need to be secured as noted. The piping should be screwed to the downspout and sealed to prevent moisture leakage next to the foundation, a potential source of leaks into the interior. Make sure all piping is clear and free flowing. Ribbed (black corrugated) piping is more prone to become blocked with debris than smooth wall piping.

6: Exterior Components

Information

General : Wall Covering

EIFS (Exterior Insulation and Finishing System - "Synthetic Stucco")

General : Eaves / Soffits / Fascias

Wood

General : Exterior Doors

Wood, Metal

General : Window / Door Frames And Trim

Wood

General : Entry Driveways / Walkways / Patios

Exposed Aggregate Concrete

General : Front Entry / Porch

Tile

General : Other Porches / Decks / Steps And Railings

Painted Wood Deck, Stone

General : Surface Drainage

Level Grade

General : Retaining Walls

Decorative Block

General : Fencing

Wood, Chain Link

General : Number Of Exterior Doors

6

Deficiencies

DEFICIENCY 6.1

Exterior Veneer: Stucco

Previous Stucco Repairs Noted



Monitor: Previous repairs to the exterior EIFS veneer were noted, which align with interior drywall repairs and water damage in the crawlspace (see the Interior and Structural sections). Consult the seller for details on all repairs, as well as any documentation, warranties, etc., provided by the contractor who performed the work.

DEFICIENCY 6.2

Exterior Veneer: Stucco

EIFS Warning



Monitor, Possible Concern: EIFS (Exterior Insulation and Finish System - sometimes referred to as "Synthetic Stucco"), as noted on this structure, has had moisture problems in the past with poor installations. It is important that these systems are kept well caulked and sealed to prevent moisture from infiltrating the structure, which can cause damage. All windows, doors, chimneys and intersecting roofs should be properly flashed. Consider having the entire veneer inspected by a stucco repair contractor for repairs and improvements that may be needed.

DEFICIENCY 6.3

Exterior Veneer: Stucco

EIFS Grade Contact



Repair: Synthetic stucco as noted is a weather sensitive material that should be kept well protected and sealed at all times. The bottom edge of this veneer appears to be in contact with the soil, which can be a source of moisture and insect infiltration. All foam board should be cut back to provide at least 6" clearance with the soil and the exposed edges properly sealed. All joints with woodwork should be properly caulked. All windows, doors, chimneys and intersecting roofs should be properly flashed. Consult with a professional stucco contractor adept in repairing these systems.

Deficiencies

DEFICIENCY 6.4

Exterior: Windows / Doors

Adjust Exterior Door



Improve: Exterior doors should be adjusted to close and fit properly as noted for ease of operation and to limit outside air and moisture infiltration.

DEFICIENCY 6.5

Exterior: Windows / Doors

Service Door Locks



Improve: Exterior door locks that are difficult to operate as noted should be oiled and serviced for proper locking of the doors. Consider changing the locks altogether for proper operation and to reduce future maintenance.

Deficiencies

DEFICIENCY 6.6

Exterior: Decks

Bolts At Ledger Band Inadequate



Repair, Safety Issue: The bolts attaching the deck ledger to the structure of the house appear to be inadequate. Consult a deck contractor for further evaluation and installation of properly sized and spaced bolts as needed to prevent the deck from pulling away from the

structure.

DEFICIENCY 6.7

Exterior: Decks

Deck Railing Picket Spacings



Repair, Safety Issue: The openings between pickets of the deck railing is more than allowed by present day safety standards for child safety (max. 4" spacings recommended). Recommend covering these with mesh or a plastic shield or otherwise, the pickets should be altered as needed.

DEFICIENCY 6.8

Exterior: Decks

Handrail Graspability



Repair, Safety Issue: The handrails as noted do not meet current safety standards for proper grasping of the top of the rail. The hand grip portion of the rail should have a minimum width of 1 1/4" and a maximum width of 2 5/8", which should be improved as needed for proper grasping of the rails.

DEFICIENCY 6.9

Exterior: Decks

Landing Needed At Deck Stairs



Improve, Safety Issue: Deck stairs should terminate at a concrete landing to prevent tripping or falling. Consult a deck contractor or qualified handy person for installation of a landing.

DEFICIENCY 6.10

Exterior: Decks

Deck 2x2" Ledger Warning



Improve: Until recently, a 2x2" wood ledger was deemed suitable as long as it was fastened below each joist with a minimum of three 16d nails. Recent changes in deck codes no longer recognize this as an adequate or safe connection. Consider evaluation by decking contractor for upgrades to the deck that may improve its longevity and safety. In many cases, the addition of simple hardware (such as joist hangers) can be done relatively easily and without great cost.

Deficiencies

DEFICIENCY 6.11

Exterior: Patios / Stoops / Steps

Patio Settled / Cracked



Monitor, Possible Repair: The patio has settled and cracked and may need repair or replacement in the future.

Deficiencies

DEFICIENCY 6.12

Exterior: Driveway / Sidewalks

Driveway Settlement / Heaving



Monitor, Future Repair: The driveway has heaved and cracked in some areas as noted and will need repair or replacement in the future.

DEFICIENCY 6.13

Exterior: Driveway / Sidewalks

Walkway Trip Hazard



Improve, Safety Issue: The walkway as noted presents a trip hazard and should be altered as needed for improved safety.

Deficiencies

DEFICIENCY 6.14

Exterior: Retaining Walls

Guardrail Needed At Retaining Wall



Repair, Safety Issue: Current safety standards require a guardrail for walking areas that are more than 30" off the ground. This provision also applies to finish grades above retaining

walls that are attached to the structure. There was no guardrail at the retaining wall as noted and should be installed as needed.

Deficiencies

DEFICIENCY 6.15

Exterior: Lot / Drainage

Soil Erosion Noted



Monitor, Possible Repair: Signs of soil erosion and wash were noted. If this condition persists, drainage improvements or grade stabilization measures may be necessary to prevent further erosion of the ground.

Deficiencies

DEFICIENCY 6.16

Exterior: Landscaping / Fencing

Cut Back Shrubbery / Vegetation



Improve: The shrubbery and vegetation growing near exterior walls as noted should be kept trimmed away from siding, window trims, and the eaves to reduce risk of insect and water damage. Overhanging tree branches should be cut back to prevent future damage to the roofing and gutters and to prevent rodent infestations into the attic.

DEFICIENCY 6.17

Exterior: Landscaping / Fencing

Adjust Gate / Latch



Improve: The gate and/or latch mechanism needs adjustment to function properly.

DEFICIENCY 6.18

Exterior: Landscaping / Fencing

Fence Damaged



Repair: Consult a fence contractor or qualified handy person for repairs.

To view more Exterior Components photos, [CLICK HERE](#)

7: Electrical System

Information

General : Size Of Electrical Service / Main Disconnect

120/240 Volt Main Service - Service Size: 200 Amps

General : Service Drop

Underground

General : Electrical Service Conductors

Aluminum - 4/0 AWG

General : Main Service Disconnect Location

Main Panel

General : Service Grounding

Copper Ground Wire, Ground Connection Not Visible

General : Distribution Panel Location(s)

Garage

General : Distribution Sub-Panel(s)

None

General : Distribution Panel Manufacturer(s)

Square D

General : Distribution Wiring

"Romex"

General : Switches And Receptacles

Grounded

General : Ground Fault Circuit Interrupters (GFCI)

Exterior, Bathrooms, Kitchen (Partial)

General : Arc Fault Circuit Interrupters (AFCI)

None Found

General : Smoke Detectors

Present, Upgrades Or Installation Needed

General : Security System

Yes

Deficiencies

DEFICIENCY 7.1

Electrical: Panels

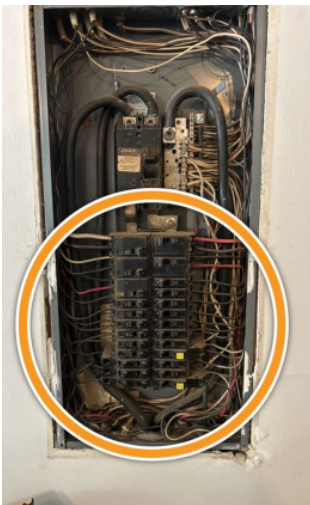
Label Panel

Improve: The circuits in the electrical panel box should be labeled for proper identification of the equipment served by the breakers.

DEFICIENCY 7.2

Electrical: Panels

Panel Is Crowded



Improve: The main distribution panel is crowded with breakers. A larger panel, or an auxiliary panel, would be desirable, especially if electrical additions are planned.

DEFICIENCY 7.3

Electrical: Panels

Grounds & Neutrals Double Tapped (Improve)



Repair, Improve: Previous safety standards permitted grounds and neutrals to share the

same spot on a buss bar, but modern standards require them to be separated. Consider consulting an electrician for evaluation and repair.

DEFICIENCY 7.4

Electrical: Panels

Advanced Age Of Panel



Improve: The electrical panel appears to be an older model that may be reaching the end of its servicable lifespan (approximately 40 years for a typical breaker panel). Consult an electrician for further evaluation and possible replacement.

Deficiencies

DEFICIENCY 7.5

Electrical: Outlets

Loose Outlet



Repair: Loose outlet(s) as noted should be tightened to prevent the loosening of the wiring

connections in the future.

DEFICIENCY 7.6

Electrical: Outlets

4 Prong Outlet Needed At Dryer (Improve)



Improve: A three-prong outlet was noted at the laundry, but newer dryers utilize a four-prong plug (although many do support replacing the cord with a three-prong version). Consult an electrician for replacement as necessary.

DEFICIENCY 7.7

Electrical: Outlets

GFCI Recommended





Improve, Safety Issue: The installation of a ground fault circuit interrupter outlet(s) is recommended at the location(s) shown. A ground fault circuit interrupter (GFCI) offers increased protection from shock or electrocution. Up to date weatherproof covers should be installed at all exterior outlets.

DEFICIENCY 7.8

Electrical: Outlets

GFCI Needed At Whirlpool Bath



Possible Repair, Safety Issue: A ground fault circuit interrupter (GFCI) should be installed on the circuit for the whirlpool bathtub. The presence of this component could not be confirmed due to a lack of access under the tub (see "Plumbing" Section), and no labeled GFCI circuit breaker was noted in the main panel. A ground fault circuit interrupter offers protection from shock or electrocution.

DEFICIENCY 7.9

Electrical: Outlets

Cover Missing At Floor Outlet



Repair, Safety Issue: Floor outlets are required to be sealed when not in use. Consult a handy person person or electrician for installation of appropriate covers at all floor outlets.

Custom

CUSTOM 7.10

Electrical: Panels

Panel Photos



Reference photos of service panel(s). Any infrared images included are for your reference only and do not indicate overheating wiring or components at the time of inspection, unless specifically mentioned above.

To view more Electrical System photos, [CLICK HERE](#)

8: Cooling System

Information

General : Cooling Equipment Energy Source

Electricity

General : Cooling System Type

Air Cooled Central Air

General : Number Of A/C Systems

Two

General : Central Air Manufacturer

CARRIER

General : Distribution Methods

Ductwork

General : Outdoor Unit Location(s)

Rear Yard

General : Tonnage Capacity (1 ton serves ~600-650 sqft)

8 Tons Total

General : Cooling Equipment Age (Typical Service Lifespan 15-20 Years)

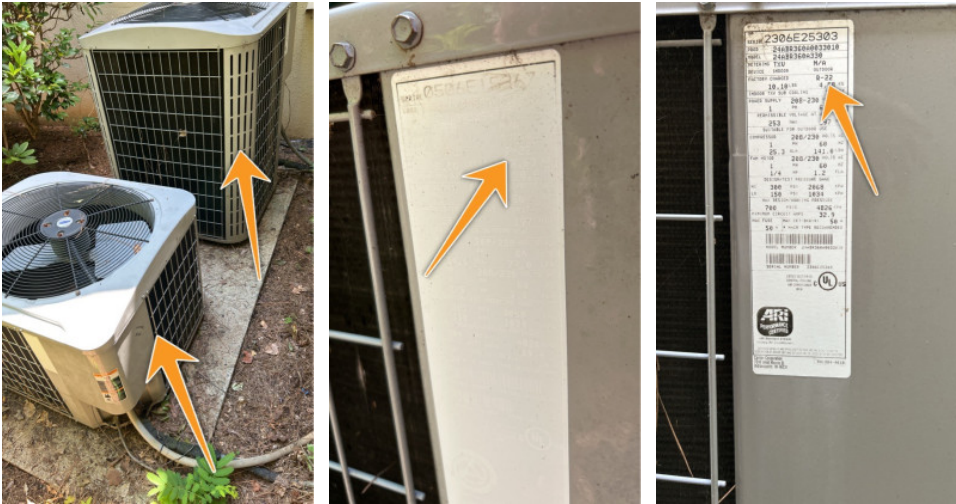
19 (x2)

Deficiencies

DEFICIENCY 8.1

Cooling: Central Air System

A/C Units Built Prior To 2010 Will Need Replacement



Monitor, Future Repair: The outdoor condensing unit(s) at the location pictured appear to have been manufactured before 2010 and more than likely used an older R-22 refrigerant (typically known as "Freon"). This refrigerant is no longer allowed in equipment manufactured after 2010 due to environmental concerns and was replaced by R-410A refrigerant. While still technically available, Freon is now harder to come by and prohibitively expensive.

Deficiencies

DEFICIENCY 8.2

Cooling: Outdoor Condensing Unit

Improve Condensate Drain



Improve: The discharge location of the condensate line as noted should be improved so that it discharges at least 10 feet from the foundations to prevent unnecessary moisture near the structure.

DEFICIENCY 8.3

Cooling: Outdoor Condensing Unit

Insulation Damage At Exterior Refrigerant Lines



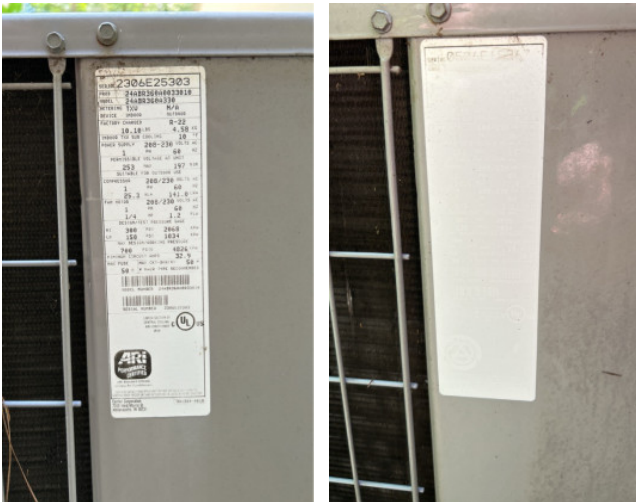
Improve: Damaged and missing insulation on exterior refrigerant lines as noted should be repaired or replaced for proper efficiency and protection of the copper piping.

Custom

CUSTOM 8.4

Cooling: Outdoor Condensing Unit

Data Tag (Condensing Unit)



Reference photo(s) of manufacturer data tag(s).

9: Heating System

Information

General : Equipment Energy Source

Natural Gas

General : Heating System Type

Forced Air Gas Furnace(s), Electronic Ignition

General : BTU Input Per Gas Furnace

66000, 110000

General : System Brand

CARRIER

General : Vents/Flues/Chimneys

Metal Multi Wall

General : Distribution Methods

Ductwork

General : Number Of Systems

Two

General : Air Filter Location

Beside Air Handler

General : Furnace/Heat Pump Age (Typical Service Lifespan 18-20 Years)

19 (x2)

Limitations

LIMITATION 9.1

Heating: Furnace / Air Handler

Too Warm To Test Furnace

When the temperature is such that the air conditioning has been consistently operating, the inspector may not turn the furnace/heat pump on in order to prevent damage to the system. Consult an HVAC contractor to perform diagnostic testing to ensure proper heating functionality.

Deficiencies

DEFICIENCY 9.2

Heating: Combustion / Exhaust Flue Clearance



Repair, Safety Issue: There is insufficient clearance between the exhaust flue and combustible materials as noted (a minimum of 1" clearance is typically required). This is a fire hazard and should be corrected immediately by a qualified heating technician. Typically a metal collar is installed on the vent to prevent further movement and contact with adjoining materials.

Custom

CUSTOM 9.3

Heating: Furnace / Air Handler Data Tag (Furnace/Heat Pump)



Reference photo(s) of manufacturer data tag(s).

10: Plumbing System

Information

General : Water Supply Source

Public Water Supply

General : Service Pipe To House (Where Visible)

Copper

General : Main Water Valve Location

Right Foundation Wall, Crawlspace

General : Interior Supply Piping (Where Visible)

Copper, Pressure Regulating Valve (PRV): Located At Main Water Shutoff

General : Water Pressure

45 psi (40-80 psi is normal)

General : Waste System

Private Sewer System Reported by Seller

General : Drain/Waste/Vent Piping (Where Visible)

ABS

General : Cleanout Location

Crawlspace

General : Water Heater

Gas Tank(s), Expansion Tank(s)

General : Water Heater Age (Typical Life 8-12 Years)

4

General : Water Heater Capacity

50 Gallons

General : Water Heater Manufacturer

A.O. SMITH

General : Water Heater Location

Crawlspace

General : Main Fuel Shut-Off Valve Location

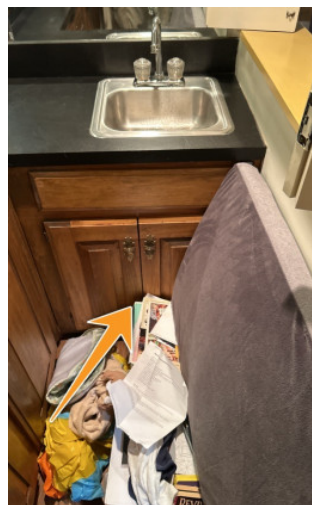
Located At Gas Meter (located: Right Side Yard)

Limitations

LIMITATION 10.1

Plumbing: Sinks & Faucets

Sink Cabinet Access Limited Or Obstructed



Monitor: Due to storage and/or household items, access was limited or obstructed in the location(s) noted. Inspectors do not touch or move items and your inspector is not able to inspect areas where access is severely limited or obstructed. Remove obstructions and inspect the area(s) noted for signs of leakage.

Deficiencies

DEFICIENCY 10.2

Plumbing: Gas Supply

Rust At Gas Piping



Repair: Rust can lead to deterioration and possibly leakage of the gas piping. Sand and paint with Rustoleum or equivalent for minor rust conditions. Have a plumber replace if more advanced rust piping conditions are evident.

Deficiencies

DEFICIENCY 10.3

Plumbing: Supply Piping

Label Main Shutoff Valve



Improve: The main whole house water shutoff valve appears to be at the location pictured (confirm with seller) and should be labeled for proper identification. The shut-offs for the outside hose faucets should also be properly labeled for future access. We recommend shutting off the water when leaving the house for extended periods of time.

DEFICIENCY 10.4

Plumbing: Supply Piping

Install Timer For Circulating Pump



Improve: Consider installing a timer on the hot water circulating pump to prevent heat loss in the walls when not in use (e.g. at night).

Deficiencies

DEFICIENCY 10.5

Plumbing: Drain / Waste / Vent (DWV) Piping

Septic System Noted

Monitor, Possible Repair: Based on the amount of usage, septic tanks typically need servicing and cleaning every 3-5 years for proper operation and function. Consult with the seller concerning the last service date and have this performed as needed. Also, check with the seller concerning the location of the storage tank and drain fields for future servicing. The typical life of the drain fields is 30-40 years. Since the inspection of the septic system is not within the scope of this inspection, we recommend having this inspected by a licensed septic contractor. The use of a garbage disposal is typically not recommended with a septic tank system, although disposals rated as septic system safe are available.

Deficiencies

DEFICIENCY 10.6

Plumbing: Toilets

Toilet Loose



Repair: The toilet at the location noted was loose and needs repair. Have the wax ring checked for leaks and the toilet properly bolted to the floor.

Deficiencies

DEFICIENCY 10.7

Plumbing: Sinks & Faucets

Sink Stopper Repair



Repair: The sink stopper(s) as noted did not function properly or are missing and need repair or replacement altogether.

DEFICIENCY 10.8

Plumbing: Sinks & Faucets

Sink Drains Slowly



Repair: The sink was draining slowly indicating that an obstruction may exist or the sink stopper needs adjustment. Have the stopper adjusted and then check the P-trap and drain line for blockages and clear as needed.

Deficiencies

DEFICIENCY 10.9

Plumbing: Tubs & Showers

Shower Diverter Needs Repair



Repair: The shower diverter at the bathtub does not completely divert all of the water to the shower head, which should be improved as needed for proper function.

DEFICIENCY 10.10

Plumbing: Tubs & Showers

No Whirlpool Motor Access Found



Monitor, Possible Repair: Access to the whirlpool motor should be provided (or its whereabouts should be verified with the current owner).

Deficiencies

DEFICIENCY 10.11

Plumbing: Exterior Hose Faucets

Exterior Hose Faucet Leaks



Repair: The exterior hose bibb at the location pictured does not shut off entirely or otherwise leaks at the handle, which places unnecessary moisture next to the foundation. It should be repaired or replaced as needed.

Deficiencies

DEFICIENCY

10.12

Plumbing: Water Heaters

TPR Piping Needs Bleeder Valve



Repair, Safety Issue: Current safety standards in the state of GA allow discharge piping for the TPR (Temperature and Pressure Relief) valve to route upwards, but a drain mechanism or bleeder valve is required at the lowest point of the line before it turns up. This device should be added as needed to drain water build up in the lines, which can cause damage to the TPR valve.

Custom

CUSTOM 10.13

Plumbing: Supply Piping

Water Pressure Normal



Water pressure measured between 40 and 80 PSI, considered normal. No action necessary,

FYI only.

CUSTOM 10.14

Plumbing: Supply Piping

Water & Gas Shutoff Valves



Reference photos of water and gas shutoff valve locations. No action required, FYI only.

Custom

CUSTOM 10.15

Plumbing: Drain / Waste / Vent (DWV) Piping

Sewer Cleanout Location



Monitor: As the name implies, the sewer cleanout is used as an access point to clear clogged waste lines and for videoscope evaluation of the lines and connection to the main sewer or septic system. No action required, FYI only.

Custom

CUSTOM 10.16

Plumbing: Water Heaters

Data Tag (Water Heater)



Reference photo(s) of manufacturer data tag(s).

CUSTOM 10.17

Plumbing: Water Heaters

Water Temperature Normal



Monitor: Water temperature measured at or below 120 degrees Fahrenheit, the threshold for scald hazards. No action necessary, FYI only.

To view more Plumbing System photos, [CLICK HERE](#)

11: Insulation / Ventilation

Information

General : Exterior Wall Insulation

Not Visible (R11/R13 assumed)

General : Basement Insulation

N/A

General : Crawlspace Insulation

None Visible

General : Crawlspace Ventilation

Exterior Wall Vents

General : Vapor Retarders

Plastic Vapor Barrier in Crawlspace

General : Exhaust Fan/Vent Locations

Bathroom(s), Laundry/Dryer, Cooktop Downdraft

Deficiencies

DEFICIENCY 11.1

Insulation / Ventilation: Crawlspace

Improve Ventilation In Crawlspace (Monitor)



Monitor: Ventilation of the crawl space may be insufficient. A full vapor barrier and dehumidifier were noted, so monitor for excess humidity and moisture in the crawlspace; if necessary, additional ventilation will help control humidity and reduce the potential for rotting of wood components, termite infestations, and toxic mildew growth. Ventilation can

be improved by adding vents to the building exterior. All existing vents should be opened and cleared. If this does not prove sufficient, consult a foundation specialist.

DEFICIENCY 11.2

Insulation / Ventilation: Crawlspace

Insulation Barrier Facing Wrong Way



Repair, Safety Issue: The insulation batts are installed with the paper vapor barrier exposed, which presents a fire hazard (see label on facing). The insulation should be either turned around so that the vapor barrier is not exposed or covered with an approved product (e.g., drywall). Otherwise, the insulation should be replaced with a product that does not have a paper backing (known as "unfaced" insulation).

DEFICIENCY 11.3

Insulation / Ventilation: Crawlspace

Dehumidifier Inoperative





Repair: The permanent dehumidifier installed in the crawlspace was not operative at the time of inspection and had been replaced with a light duty home/office unit. Consult the owner for details, or a waterproofing contractor for further evaluation and repair as necessary.

12: Interior Components

Information

General : Wall And Ceiling Materials

Sheetrock

General : Floor Surfaces

Carpet, Wood, Laminate

General : Shower And Tub Surrounds

Tile

General : Windows And Glazing

Double Hung, Casement, Double Pane

General : Doors

Wood, Hollow Core

Deficiencies

DEFICIENCY 12.1

Interior: Ceilings / Walls

Repairs Noted



Monitor: Previous repairs were noted. Consult the seller for history of damage and repairs, and monitor for future leakage or damage.

Deficiencies

DEFICIENCY 12.2

Interior: Flooring

Uneven Floors



Monitor: Minor unevenness was observed in the floor structure. This condition is fairly common in older structures such as this and is typically caused by the framing design, installation methods, and aging of the building. There was no evidence of need for immediate repair, however the flooring system should be monitored for further movement. The rate of movement cannot be determined in a one-time inspection.

DEFICIENCY 12.3

Interior: Flooring

Floor Tiles Cracked



Repair: One or more floor tiles were cracked and are need of repair or replacement. Consult a contractor or qualified handy person for repair or replacement.

Deficiencies

DEFICIENCY 12.4

Interior: Windows

Fogged Glass



Repair: "Fogged" glass was noted, which should be replaced. This condition is typically caused by damaged seals around the perimeter of the insulated glass, which in turn allows condensation to develop between the panes. All damaged glass panels in this area should be replaced by a qualified glass replacement contractor. The contractor should inspect all other insulated panels in the house for additional condensation that may be occurring in the glass.

Deficiencies

DEFICIENCY 12.5

Interior: Environmental Issues

Radon Note (Test In Progress)

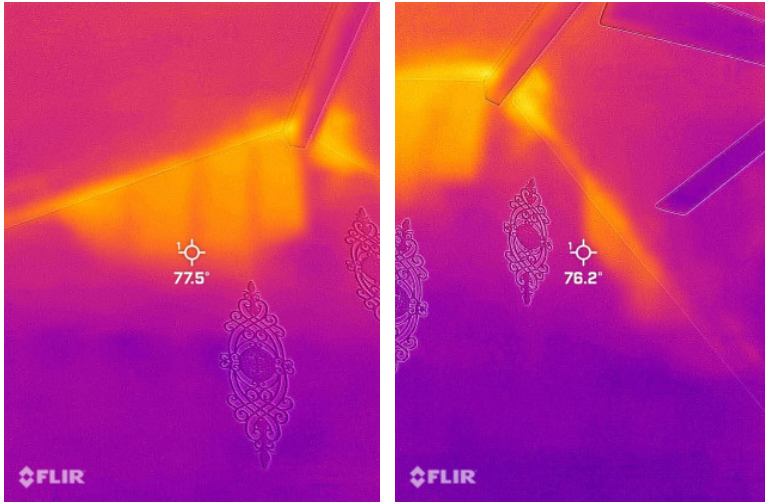
Monitor, Safety Issue: Radon gas is a naturally occurring radioactive gas that is invisible, odorless and tasteless, and is the second leading cause of lung cancer, after smoking. The Environmental Protection Agency (EPA) states that a radon reading of more than 4.0 picoCuries per liter of air represents a health hazard and can lead to a higher incidence of cancer. The EPA recommends that all houses be tested for radon. A radon evaluation is currently in progress and results will be provided separately. For more information, visit the EPA's radon website at <https://www.epa.gov/radon/>.

Custom

CUSTOM 12.6

Interior: Ceilings / Walls

Thermal Imaging Performed



Monitor: Thermal imaging was performed on the walls and ceilings of the living space. No concerns with water intrusion were noted at the time of inspection, but there were some typical, minor, warm spots where insulation may be missing, compressed, or damaged. Monitor for general comfort and consult an insulation contractor for repair if desired.

13: Appliances / Fireplaces

Information

General : Appliances Tested

Electric Range / Oven, Electric Cooktop, Built-in Microwave Oven, Dishwasher, Refrigerator (with ice-maker), Garbage Disposal

General : Laundry Facility

240 Volt Circuit for Dryer (3 Pronged Plug), Hot and Cold Water Supply for Washer, Dryer Vented to Building Exterior

General : Fireplaces

Metal Firebox (with Masonry Insert), Metal Flue, Damper, Gas Logs

General : Other Components

Door Bell, Cooktop Downdraft, Outdoor Cooking Equipment (permanent gas/propane connection only)

Deficiencies

DEFICIENCY 13.1

Fireplaces

Fireplace Cleaning (With Gas Logs)



Repair, Safety Issue: The fireplace chimney could use cleaning due to the presence of built-up soot in the chimney from the gas logs. All flues and gas connections should be checked on an annual basis for proper safety.

DEFICIENCY 13.2

Fireplaces

Install Damper Clamp For Gas Logs



Improve, Safety Issue: There was no clamp installed at the metal damper above the gas logs in the fireplace, which could allow the damper to be closed during the operation of the gas logs. Consider installing this safety device or otherwise insure that the damper is left open when the gas logs are turned on. Also recommend installing a carbon monoxide alarm near the fireplace.

Deficiencies

DEFICIENCY 13.3

Appliances: Cooktop / Oven

Gas Shut-Off Valve Needed



Repair, Safety Issue: There does not appear to be a gas shut-off valve below the cooktop, which should be added as needed for proper control and safety.

DEFICIENCY 13.4

Appliances: Cooktop / Oven

Flexible Gas Piping Noted At Cooktop



Improve: Flexible gas piping can be prone to mechanical damage and leakage. Use caution when placing items below the cooktop, or make sure shelving is installed to prevent damage to the gas line. Consider having a plumber or appliance contractor add a section of rigid pipe if possible.

Deficiencies

DEFICIENCY 13.5

Appliances: Dryer / Washing Machine

Flexible Vent Piping Noted At Dryer



Improve, Safety Issue: The flexible clothes dryer exhaust vent pipe as noted should be replaced semi-rigid, or, ideally, rigid smooth wall piping where possible to prevent lint build-up in the line which can cause damage and possible fires at the dryer element.

DEFICIENCY 13.6

Appliances: Dryer / Washing Machine

Clean Dryer Vent



Repair, Safety Issue: The clothes dryer exhaust vent pipe appears clogged with lint and should be cleaned. Blocked piping can cause damage and possible fires at the dryer element.

DEFICIENCY 13.7

Appliances: Dryer / Washing Machine

Use Stainless Steel Braided Hoses For Washing Machine



Improve, Monitor: Recommend installing stainless steel braided hoses for the water connections to the washing machine for added protection against damage to interior finishes from possible leaks at these connections.

DEFICIENCY 13.8

Appliances: Dryer / Washing Machine

Overflow Pan Recommended



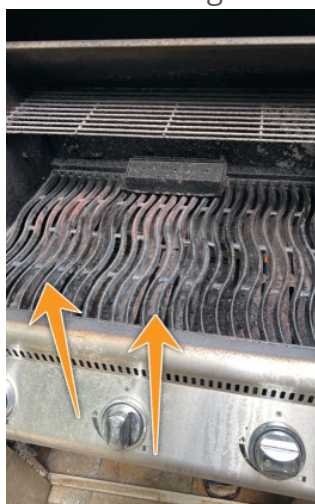
Improve: Recommend installing a metal or more durable composite overflow pan, rather than brittle plastic, that is connected to a drain line under the washing machine (and newer dryers that have water connections for steam functionality) to prevent damage to interior finishes from leaks. A better solution would be to install a tiled floor with a curb and floor drain. Otherwise, a leak detection system should be used. Also recommend installing metal braided hoses for the water connections for added protection.

Deficiencies

DEFICIENCY 13.9

Appliances: Other Equipment

Outdoor Grill Igniter Inoperative



Repair: The electronic igniter for the outdoor grill did not work when tested using normal controls. Consult the seller for details of operation, or consult an appliance repair technician for troubleshooting and repair.

14: Termite, Rodent, Insect and Pest Activity

Information

General : Wood Destroying Organism (WDO) Activity

None noted

15: Post Inspection Checklist

Information

Appliances : Ovens And Ranges

Turned Off

Appliances : Dishwasher

Turned Off, Drained

Appliances : Refrigerators And Freezers

Closed, Functioning

Appliances : Microwave Oven (Built-In Only)

Turned Off

Appliances : Garbage Disposal

Turned Off

Fireplaces : Wood Burning Fireplace

None

Fireplaces : Gas Fireplaces

Turned Off

Thermostat (Heating/Cooling Systems) : Thermostat Settings

Changed to Pre-Inspection Settings

GFCIs and AFCIs : Utility Rooms, Laundry Rooms, Basement/Crawlspace

Receptacles Functioning

GFCIs and AFCIs : Kitchens And Bars

None

GFCIs and AFCIs : Garage And Exterior

Receptacles Functioning

GFCIs and AFCIs : Bathrooms

Receptacles Functioning



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